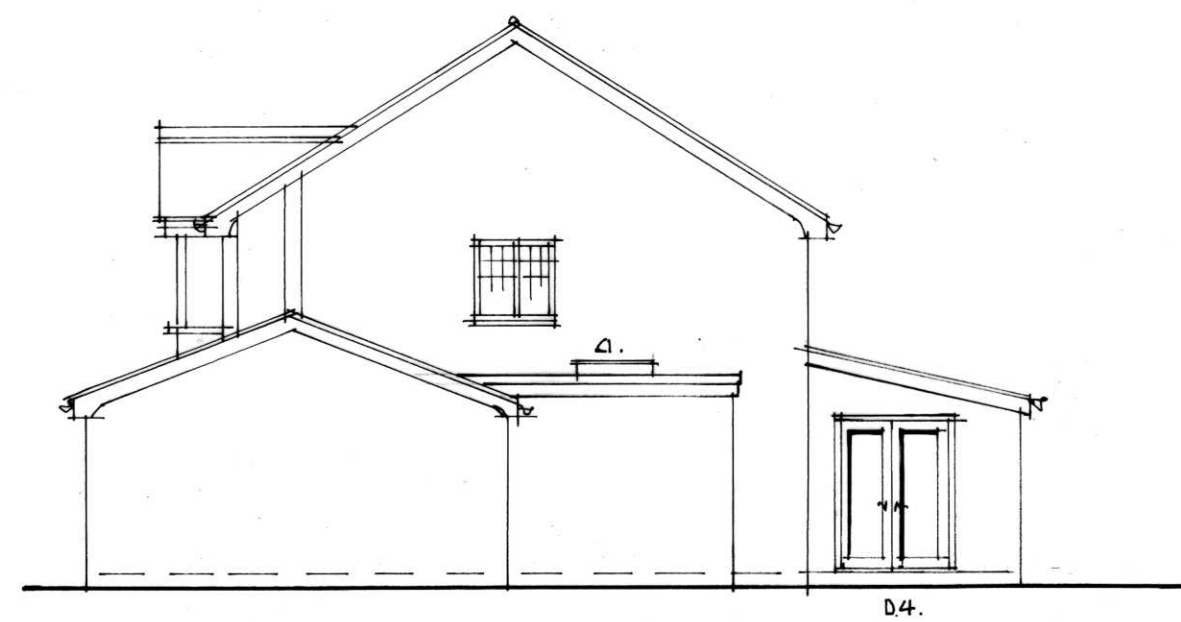




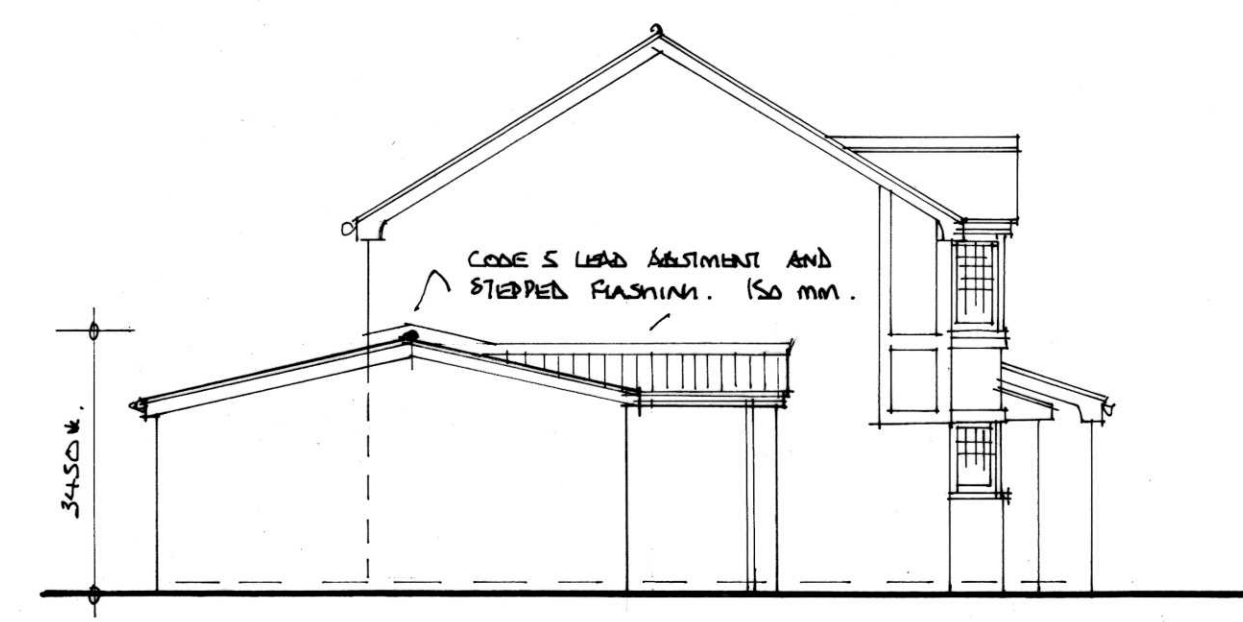
Proposed Front Elevation. 1:100.



Proposed Side Elevation. 1:100.



Proposed Rear Elevation. 1:100.



Proposed Side Elevation. 1:100.

PUBLIC SEWERS – not required by building control or part of our service but client needs to look into it.

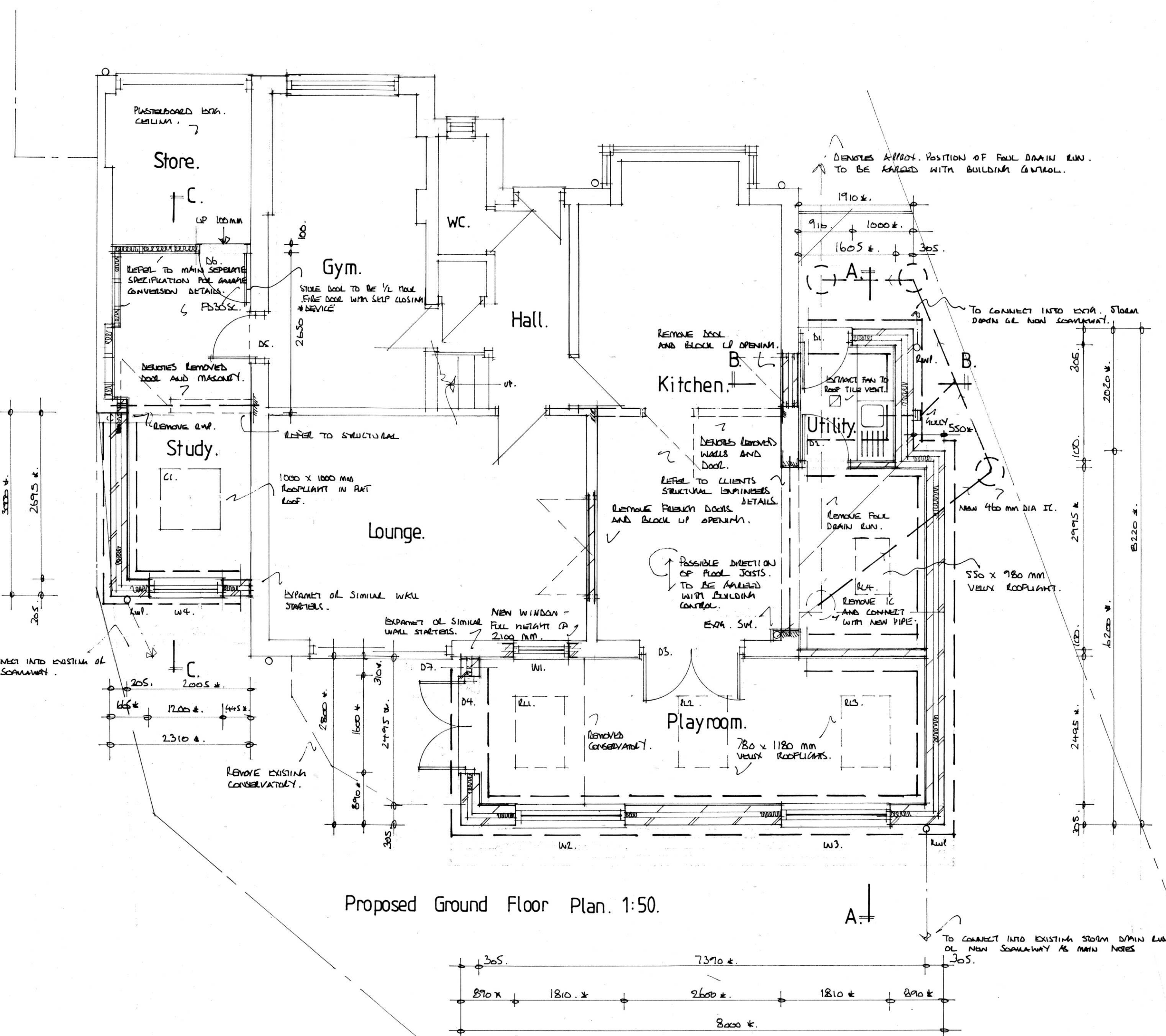
IMPORTANT FOR THE CLIENT TO CONFIRM WITH THERE WATER AUTHORITY BEFORE BUILDING WORKS START.

Since the 1st October 2011 a significant number of private sewers have become the responsibility of the Water Authority and as such any building work that includes a new drainage connection or involves building over or within 3m of a drain might need approval from the Water Authority.

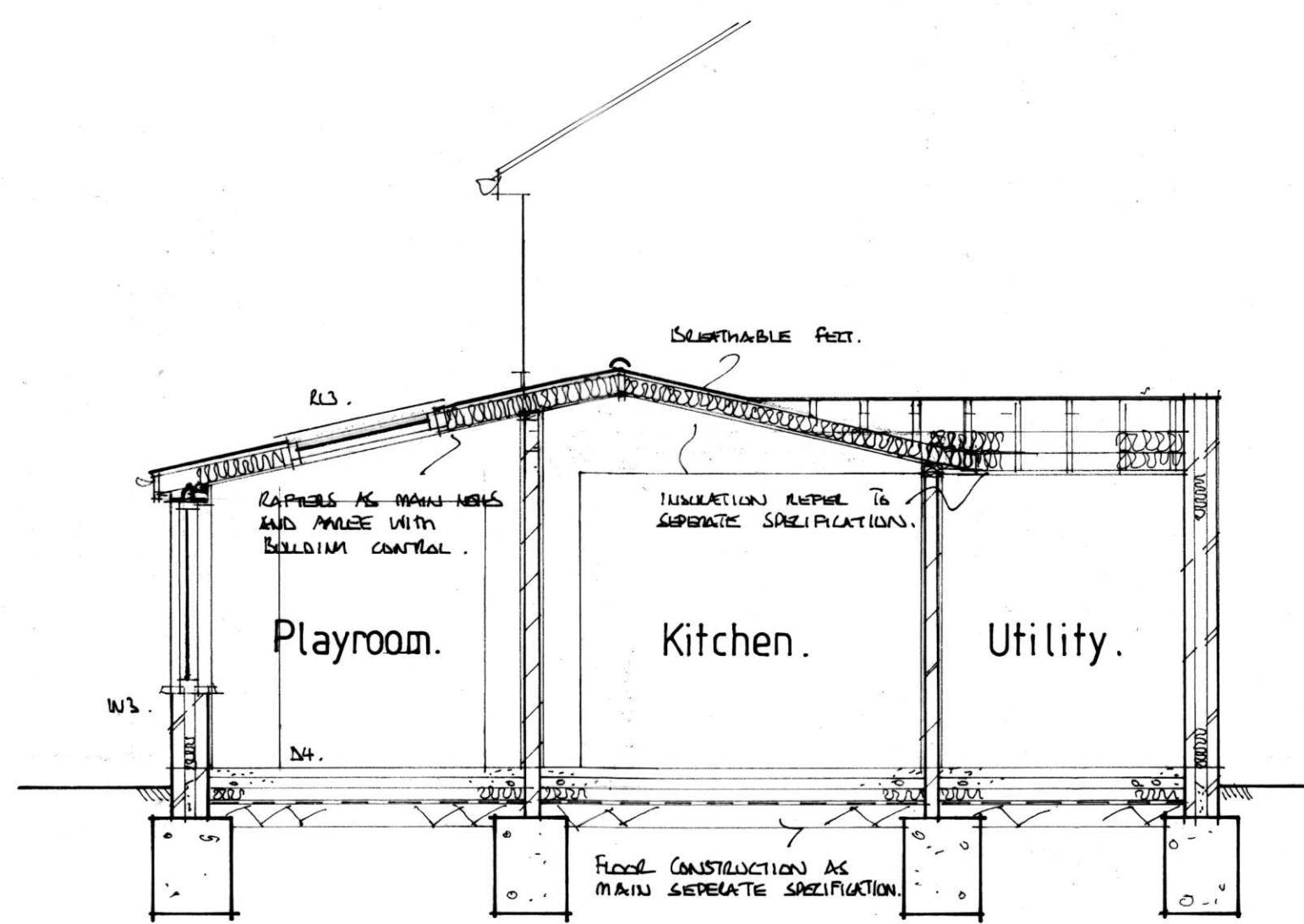
Most of these sewers and lateral drains are not shown on the existing maps of public sewers held by the council so under the circumstances you are advised to consult your Water Authority for more information and make the necessary applications.

ELEVATIONAL MATERIALS

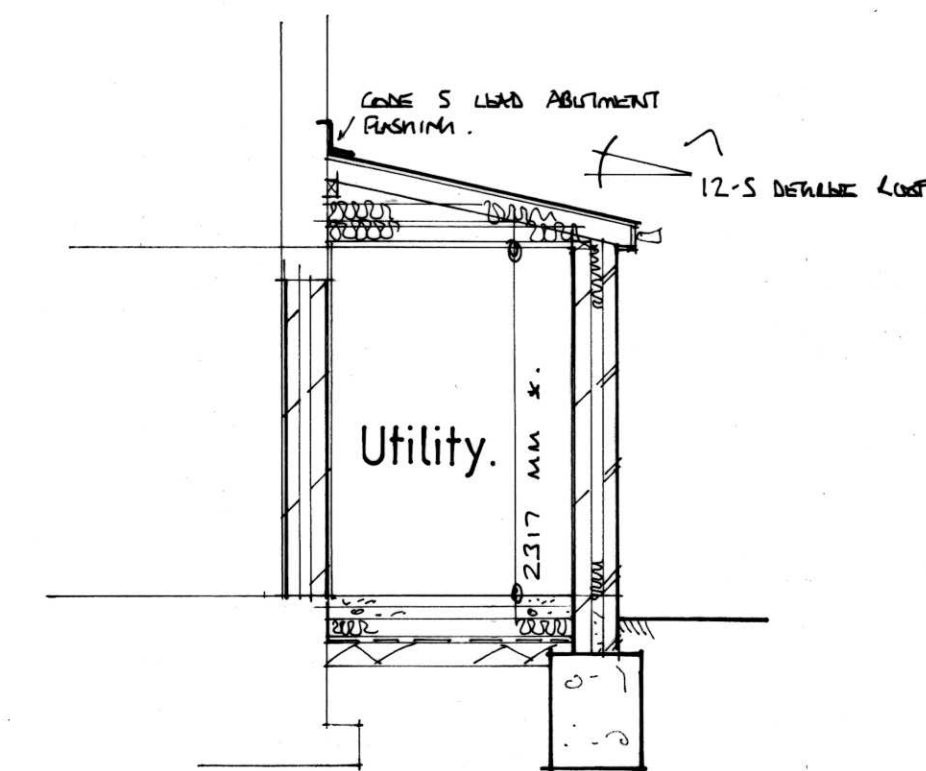
New external finish to be brickwork to match existing brick unless agreed otherwise.
 New roof tiles to match existing if they can be set low pitched if not then will require to use Forticrete Centurion low pitch roof tiles unless agreed otherwise.
 New flat roof area to be 3 layer felt system unless agreed otherwise.
 New windows and doors are to be black PVC double glazed units to match existing - style as shown on plans.
 New black rainwater goods to match existing unless agreed otherwise.



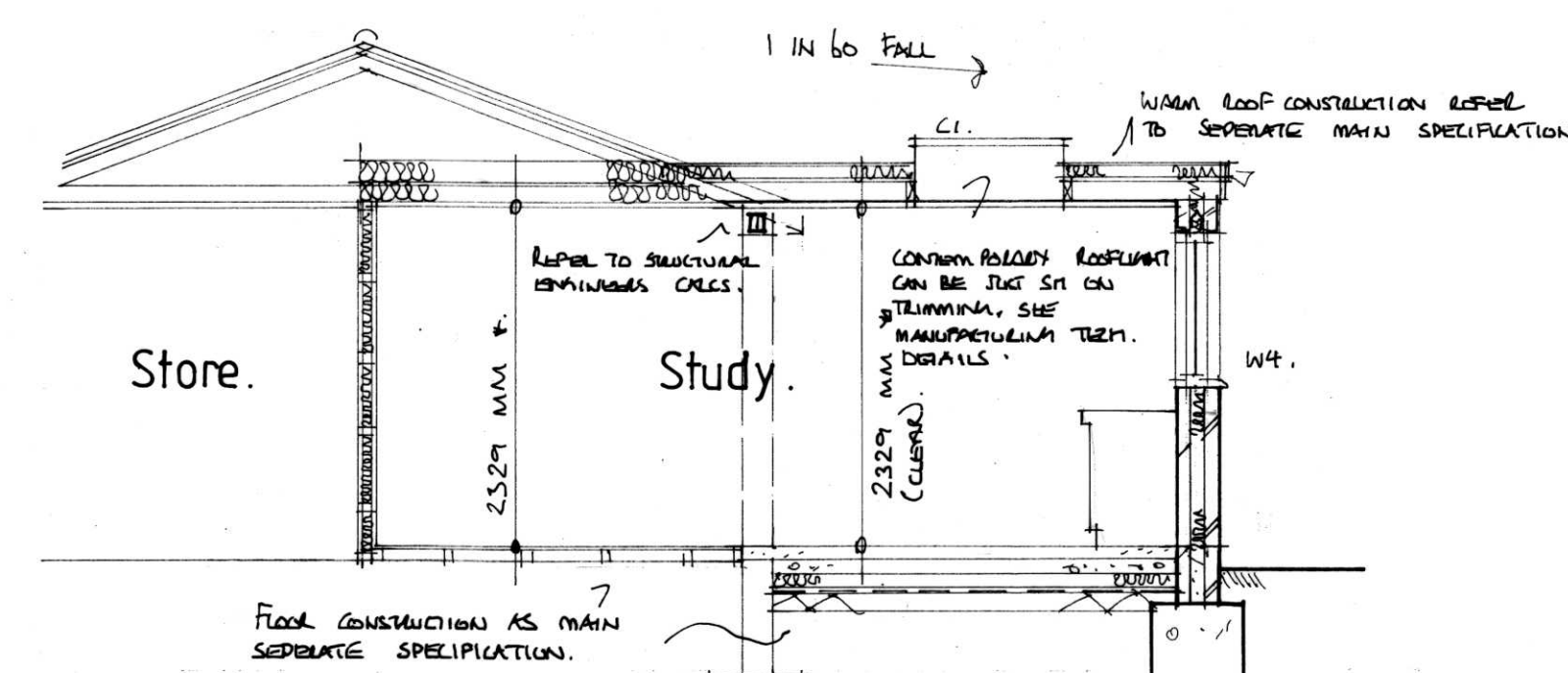
Proposed Ground Floor Plan. 1:50.



Section A-A. 1:50.



Section B-B. 1:50.



Section C-C. 1:50.

Notes

* Denotes dimensions to be agreed on site prior to commencement of construction works.

For more detailed construction information refer to separate specification.

Any Structural work to be designed and calculated by Clients structural Engineer.

We have no involvement or responsibility of the party wall act 1996 or future versions but we must make you aware of the civil matter.

Revision: Rev 'A' CLIENT CHANGES. By Approved: Paul N Pab.

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OFFERING IMAGINATIVE DESIGN SOLUTIONS TO ALL

Client: MR AND MRS JOHNSON

Project: PROPOSED SINGLE STOREY SIDE AND REAR EXTENSIONS AT 20 TEVERSHAM WAY EATON FORD CAMBS.

Drawing Title: PROPOSED GROUND FLOOR PLAN, SECTIONS AND ELEVATIONS.

Scale: 1:100, 1:50 Date: FEB 2017 Drawn: PB

Project No: 7734 Drawing No: 101 Revision: 1

Copyright JK Architecture. All dimensions to be verified on site.

Any revisions to the plans or separate specification can only be carried out by JK Architecture.