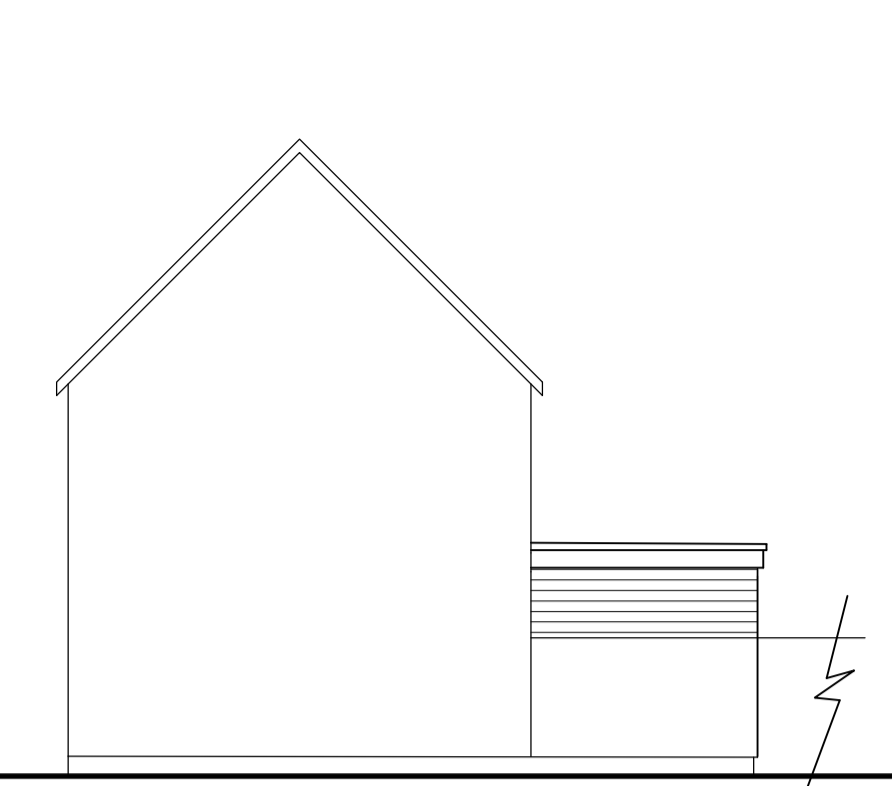




Proposed Rear Elevation.



Proposed Side Elevation.



Proposed Front Elevation.



Proposed Side Elevation.

ELEVATIONAL MATERIALS

- NEW HARDIE PLANK EXTERIOR FIBRE CEMENT CLADDING FINISH TO REAR SINGLE STOREY EXTENSION, COLOUR TO BE AGREED WITH CLIENT.
- NEW SMOOTH PLASTIC RENDER FINISH UNLESS AGREED OTHERWISE ON FLAT ROOF DORMER.
- NEW RESIN FLAT ROOF UNLESS AGREED OTHERWISE WITH CLIENT.
- NEW WINDOWS TO BE PVC DOUBLED GLAZED UNLESS AGREED OTHERWISE.
- NEW EXTERNAL DOORS TO BE PVC AND BI FOLD TO BE ALUMINUM, COLOUR TO BE AGREED WITH CLIENT.
- NEW RAINWATER GOODS TO BE BLACK AND SQUARE UNLESS AGREED OTHERWISE.

PUBLIC SEWERS – not required by building control or part of our service but client needs to look into it.

IMPORTANT FOR THE CLIENT TO CONFIRM WITH THERE WATER AUTHORITY BEFORE BUILDING WORKS START.
 Since the 1st October 2011 a significant number of private sewers have become the responsibility of the Water Authority and as such any building work that includes a new drainage connection or involves building over or within 3m of a drain might need approval from the Water Authority.
 Most of these sewers and lateral drains are not shown on the existing maps of public sewers held by the council so under the circumstances you are advised to consult your Water Authority for more information and make the necessary applications.

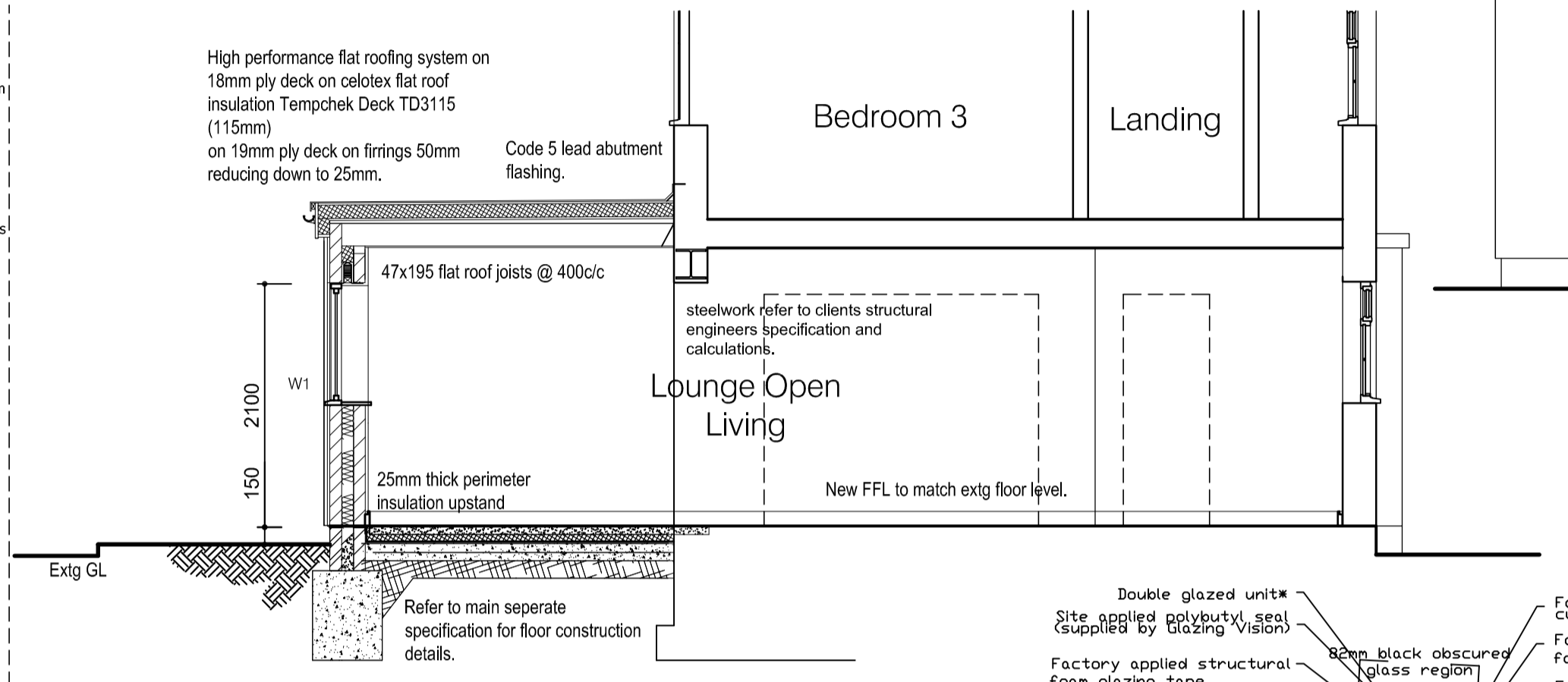
Soakaway should not be built within 5m from any existing or proposed structure or where the level of the water table reaches the bottom of the pit at any time of the year. It should also be sited sufficiently far enough away from any other existing soakaways. See specification for full construction information of the soakaway. Soakways to have a minimum capacity of 1.5 cubic metres consisting broken brick, crushed rock or gravel, with PVC sheet or concrete blinding laid over. Percolation test may be required to prove suitability.

Rainwater to be discharged into new soakaway.

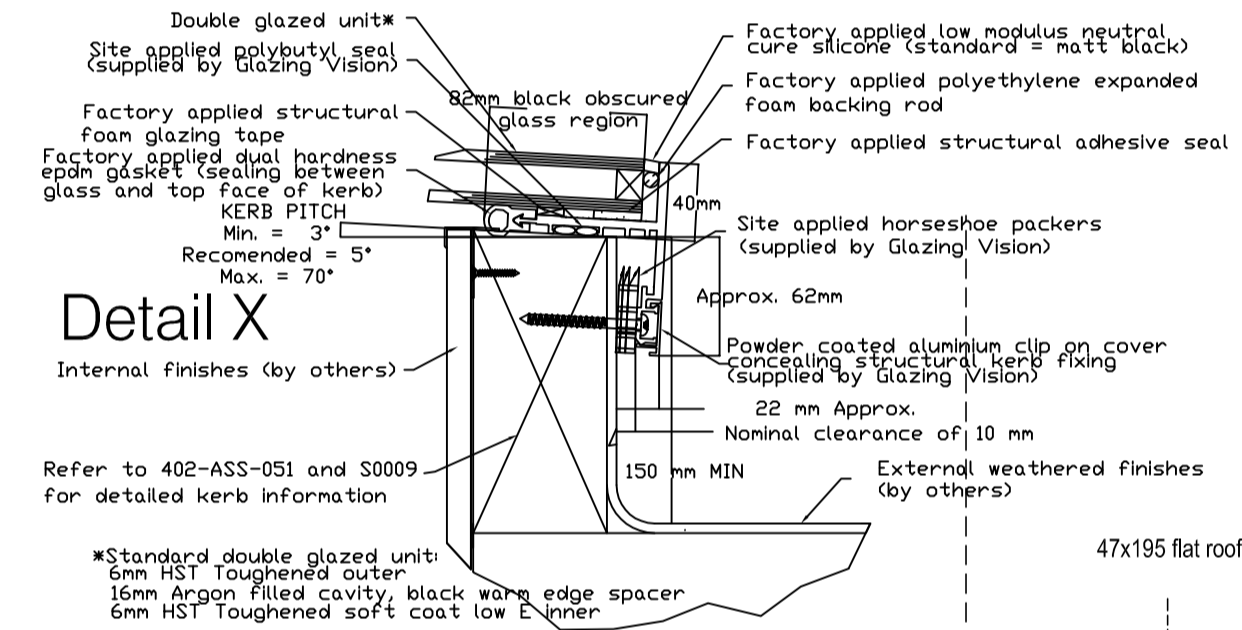
All windows to habitable rooms to provide:
 - operable lights equivalent to 1/5th (or more) of the floor area of the room they serve
 - sill heights between 800 & 1100 above floor
 - operable area no less than 0.33 sq. m
 - min. width & height of 450mm

New 47 x 145 mm C16 flat roof joists @ 400mm centres. Warm roof with Resin finish as manufacturers details.
 Roof Membrane to be Breathable Membrane in accordance with manufacturers instructions and Building Control.
 660 x 1180mm Velux rooflight as manufacturers details.
 Timber purlins removed.
 New 50 x 150mm rafters C16 grade at 430mm centres as existing.
 Floor joists to study/bedroom 4. Allow 22mm Moisture resistant chipboard flooring on 75 x 195mm C16 @ 430mm floor joists, if silent floor then size and centres to be confirmed by manufacturer. Mid span support or herringbone strutting to be fitted between joists to prevent movement.
 Note
 Refer to separate specification for more construction details.

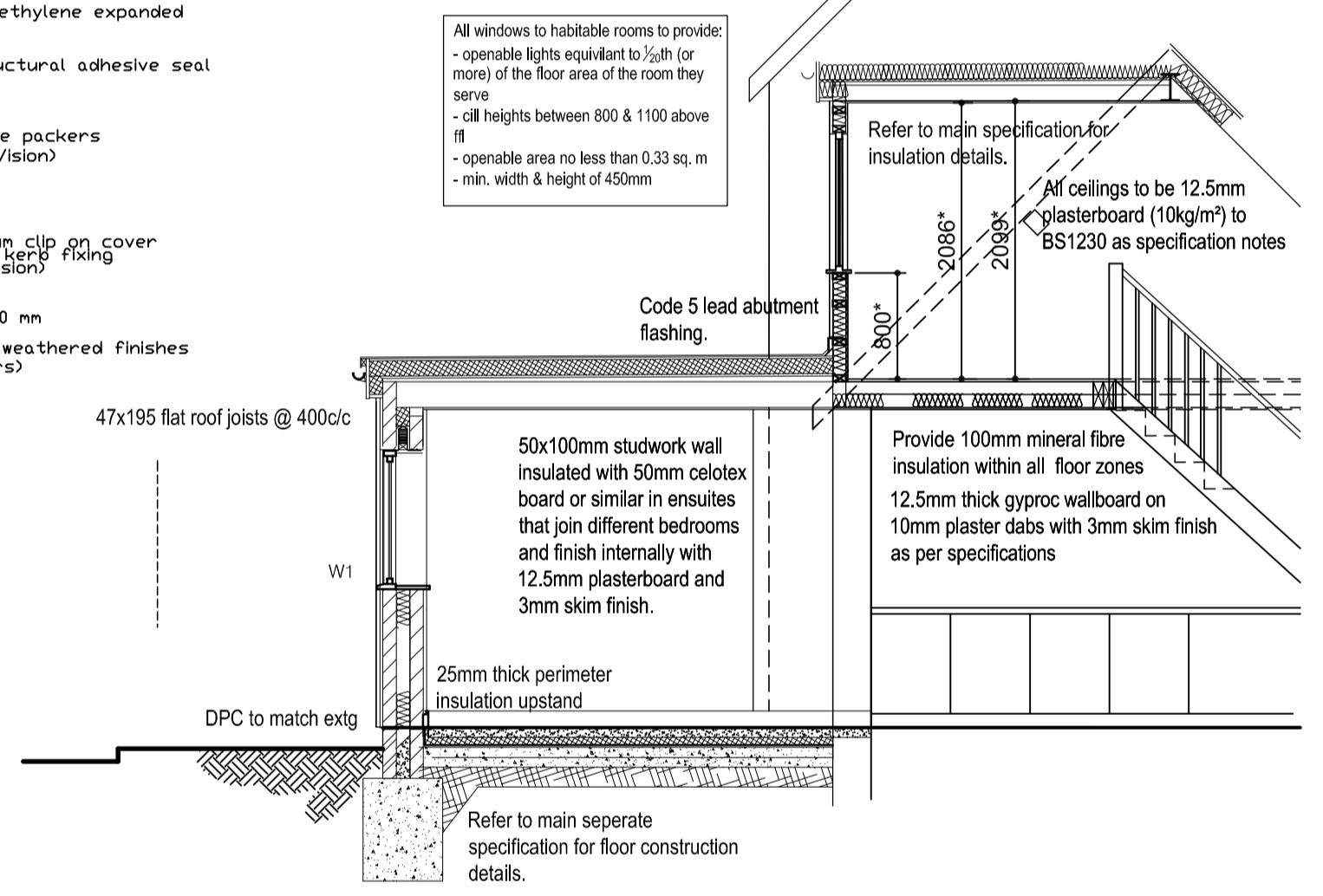
Section A-A. 1:50.



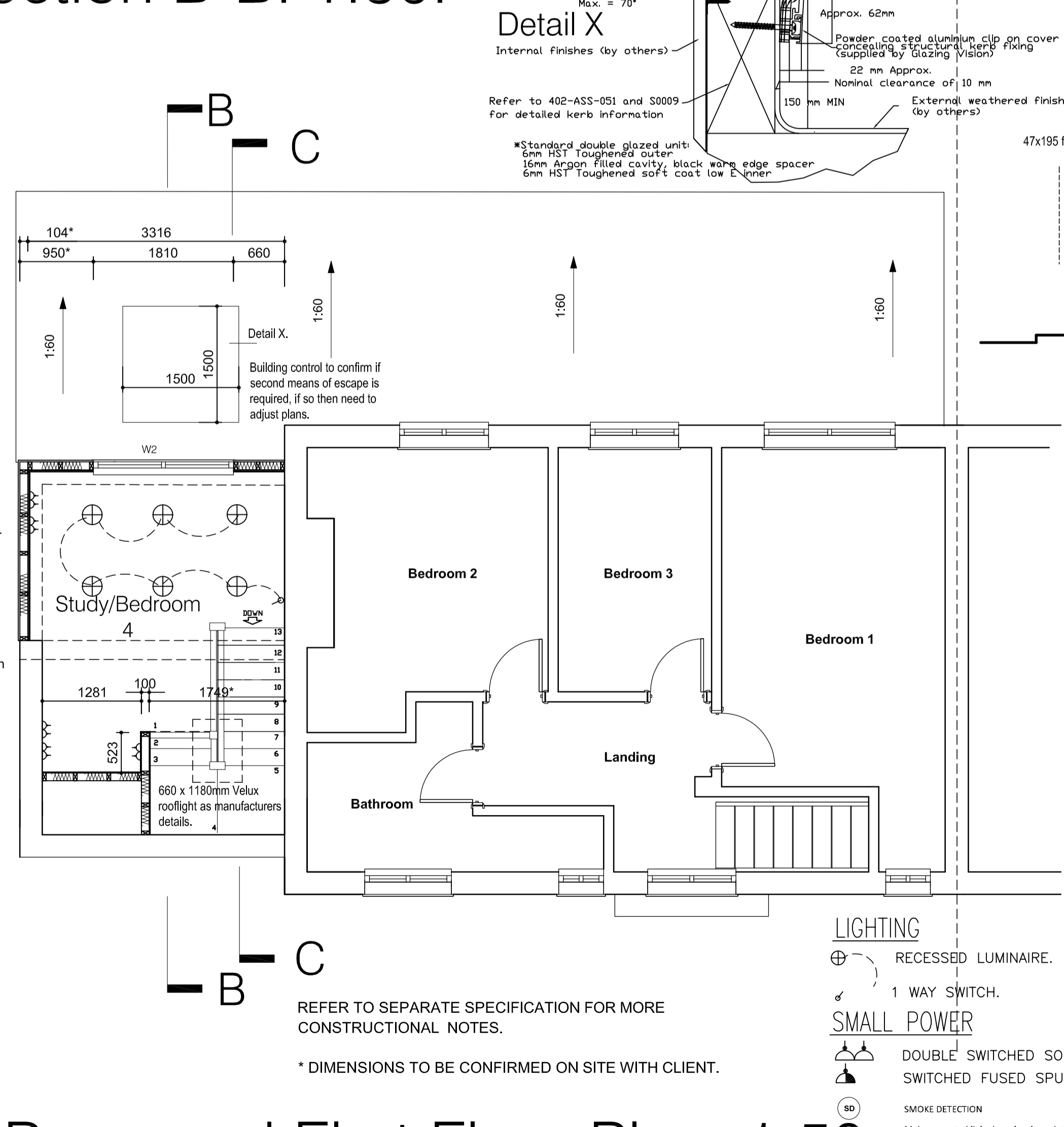
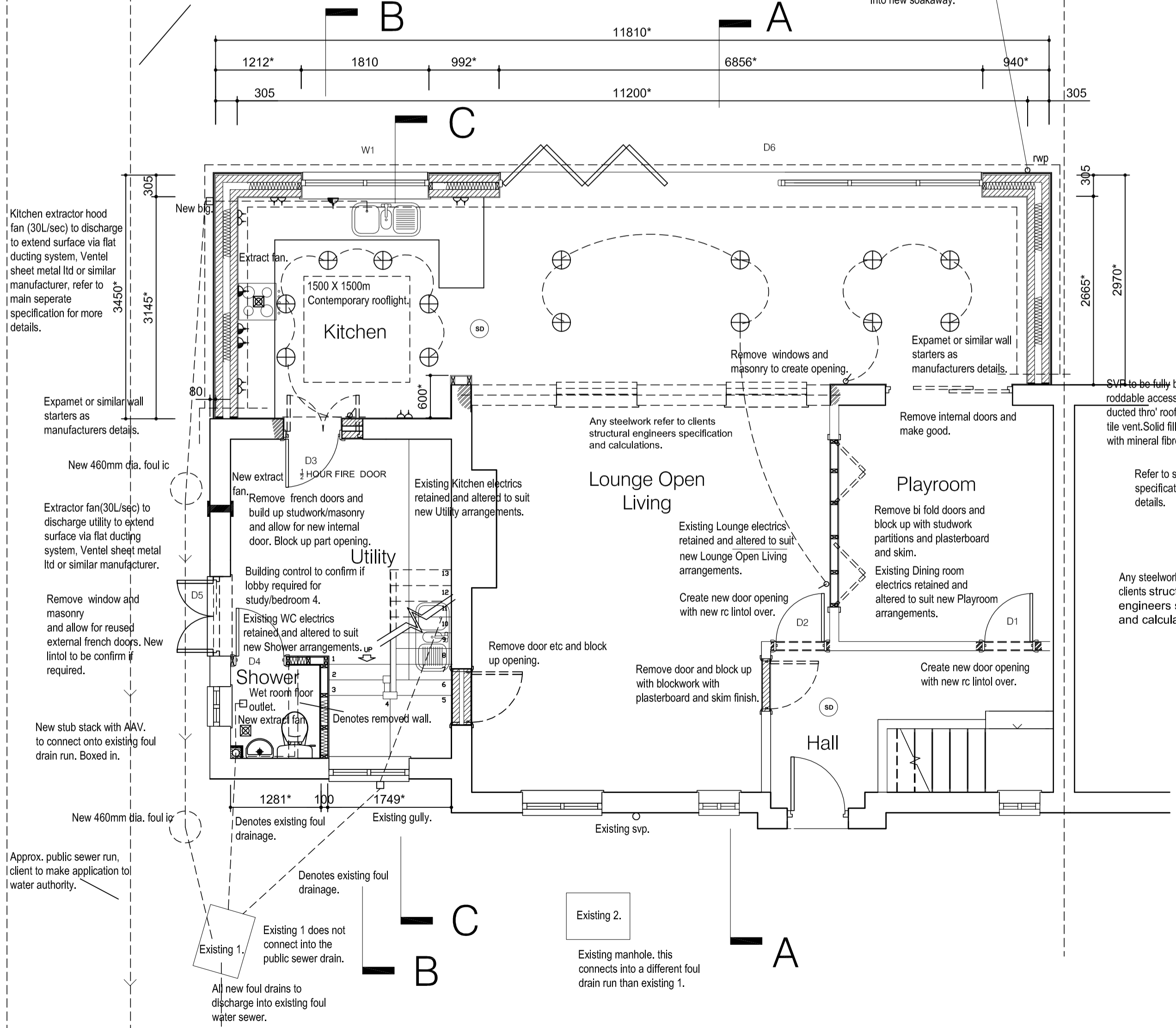
Section B-B. 1:50.



Detail X



Section C-C. 1:50.



Proposed First Floor Plan. 1:50.

- LIGHTING**
- RECESSED LUMINAIRE.
 - 1 WAY SWITCH.
- SMALL POWER**
- DOUBLE SWITCHED SOCKET OUTLET.
 - SWITCHED FUSED SPUR WITH NEON.
- SMOKE DETECTION**
- Mains operated linked smoke alarm detection system to BS EN 14604 and BS5839-6:2004 to at least a Grade D category LD3 standard and to be mains powered with battery back up. Smoke alarms should be sited so that there is a smoke alarm in the circulation space on all levels/stories and within 7.5m of the door to every habitable room. If ceiling mounted they should be 300mm from the walls and light fittings. An interlinked heat detector to be provided in the kitchen if required by Building Control.

Revision: Revision B – COUNCIL CHANGES By Approved PB MAR 17
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Client:
MR AND MRS YOUNDS

Project:
PROPOSED REAR SINGLE STOREY EXTENSION AND LOFT AT 39 STOW ROAD SPALDWICK CAMBS.
 Drawing Title:
BUILDING CONTROL PLANS, ELEVATIONS AND SECTIONS.

Scale: 1:100, 1:50	Date: OCT 2016	Drawn: PB
Project No: 2039	Drawing No: 101	Revision: B

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Proposed Ground Floor Plan. 1:50.